

S. PATRIZIO, CHAIR
D. GEORGE, VICE CHAIR
R. BENNETT, VICE CHAIR



FILE: "A" 527/12
WARD: 1

**COMMITTEE OF ADJUSTMENT
NOTICE OF PUBLIC HEARING**

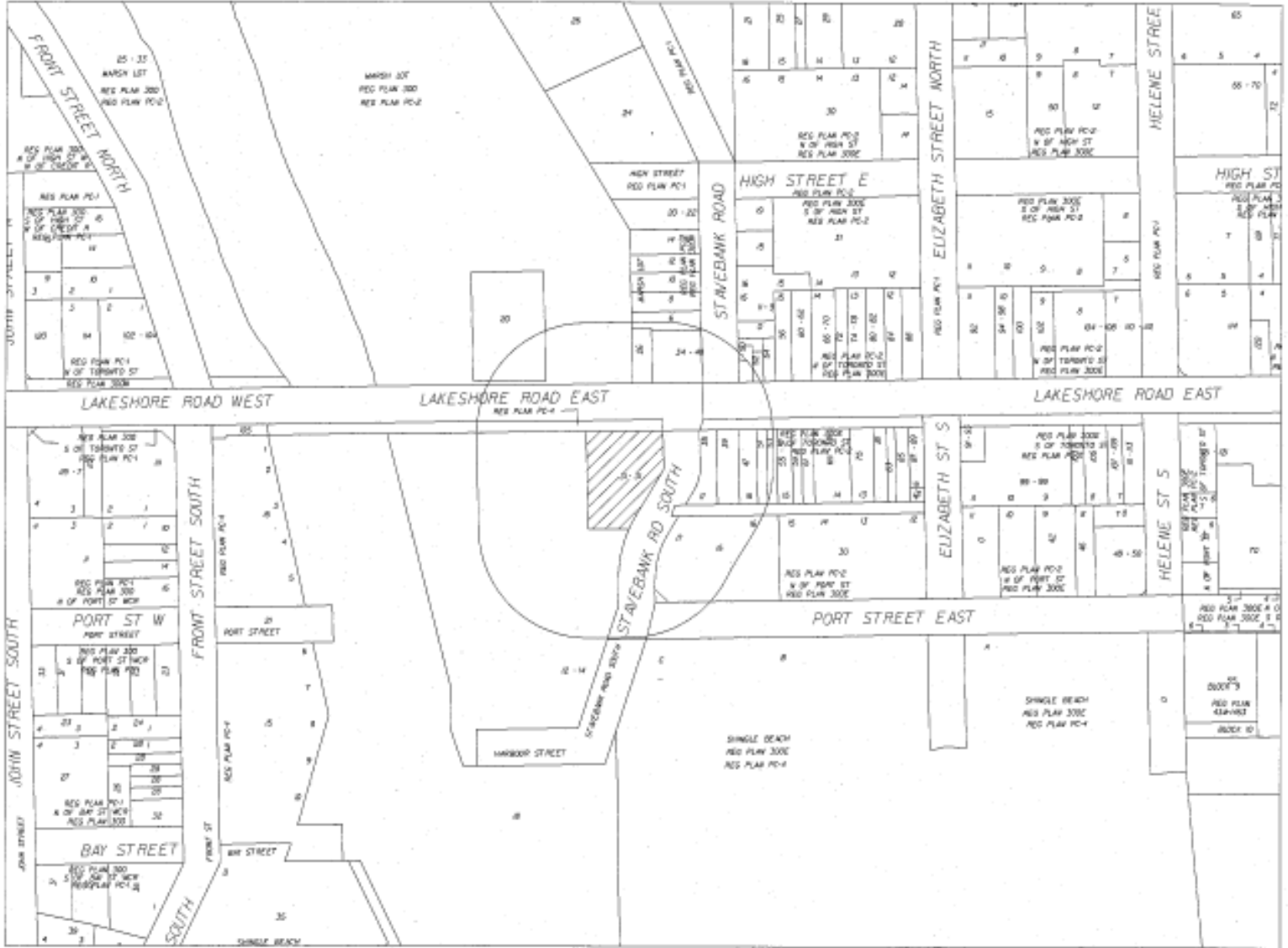
CENTRE CITY CAPITAL LIMITED is the owner of Lot 30 and part of Lot 31, Registered Plan 300E, located and known as **31 LAKESHORE ROAD EAST**, zoned C4 - Commercial. The applicant requests the Committee to authorize a minor variance to permit the construction of a below grade parking structure and additions to the existing building for the development of a mixed use commercial building on the subject property proposing:

1. a building height of 15.00 m (49.21 ft.) measured from established grade to the top of the flat roof; whereas By-law 0225-2007, as amended, permits a maximum height of 12.50 m (41.01 ft.) measured from established grade to the top of the flat roof in this instance;
2. 32% of the streetwall to be setback greater than 3.00 m (9.84 ft.) from lot lines abutting a street; whereas By-law 0225-2007, as amended, permits a maximum of 30% of the streetwall to be setback greater than 3.00 m (9.84 ft.) from lot lines abutting a street in this instance;
3. a westerly side yard of 0.00 m (0.00 ft.); whereas By-law 0225-2007, as amended, requires a minimum westerly side yard of 4.50 m (14.76 ft.) in this instance;
4. interior (westerly) side and rear yard landscape buffers of 0.00 m (0.00 ft.) in width; whereas By-law 0225-2007, as amended, requires a minimum landscape buffer of 4.50 m (14.76 ft.) in width along the interior side and rear yard lot lines in this instance;
5. a total of 83 parking spaces for all uses on site; whereas By-law 0225-2007, as amended, requires a minimum of 156 parking spaces for all uses on site in this instance;
6. four (4) parking spaces having a width of 2.50 m (8.20 ft.); whereas By-law 0225-2007, as amended, requires a minimum parking space width of 2.75 m (9.02 ft.) in this instance;
7. no loading space provided on site; whereas By-law 0225-2007, as amended, requires a minimum of one (1) loading spaces to be provided on site in this instance; and,
8. an outdoor patio to be operated ancillary to a restaurant use located within the first storey of the proposed commercial building; whereas By-law 0225-2007, as amended, does not permit a patio use on the subject property in this instance.

The Committee has set **Thursday December 13, 2012 at 1:30 pm** in the **Mississauga Civic Centre, COUNCIL CHAMBERS**, 2nd Floor, 300 City Centre Drive, Mississauga, Ontario for the public hearing.

This notice is sent to you because you are either the applicant concerned, the assessed owner of one of the neighbouring properties, or a person likely to be interested. Should you desire to express your approval or objection to the application, you may do so at the public hearing. If it is inconvenient for you to attend the hearing, signed written submissions shall be accepted by the Secretary-Treasurer prior to or during the hearing and such written submissions shall be available for inspection by any interested person. If you do not make a written submission requesting notification of the Committee's decision or attend the hearing in person or by counsel you will not be entitled to receive a copy of the Committee's decision or any subsequent correspondence relating to any future Ontario Municipal Board proceedings. Requests for deferment of hearing date, by the applicant or representative, must be for reasonable cause and an alternative hearing date will be at the discretion of the Committee. Failure of the Applicant or their Representative to appear at any hearing may result in the automatic dismissal of the application.

Further information may be obtained between 8:30 a.m. and 4:30 p.m., Monday to Friday at the Mississauga Civic Centre, Committee of Adjustment Office, 2nd Floor, 300 City Centre Drive, Mississauga, Ontario L5B 3C1, Telephone No 311 or (905) 615-4311 if outside Mississauga and Fax No. 905-615-3950.



Committee of Adjustment

Subject Property : 31 LAKESHORE RD E.

File Number : A527/12

Z Area : 8

Agent : C. P. STOBIE, KEYSER MASON BALL LLP

