

WATERMANS AND WATER SERVICE

All materials and construction methods must correspond to the current Peel public works standards and specifications.

watermain and/or water service materials 100 mm. (4") and larger must be p.v.c. class 150 to oawa spec c900-75 and copper type "K" for 50 dia and smaller

watermains and/or water services are to have a minimum cover of 1.7m (5'6") with a minimum horizontal spacing of 1.2 m (4') from structures and all other utilities.

provisions for flushing waterline prior to testing, etc. must be provided with at least a 50 mm (2") outlet on a 100mm (4") and larger lines are to have flushing points at the end. the same size as the line. They must also be hosed or piped to allow the water to drain onto a parking lot or down a drain, on fire lines. flushing outlet to be 100 mm (4") diameter minimum on a hydrant. all curb stops to be 3.0 mm (1/8") off the face of the building unless otherwise noted hydrant and valve set to region standard 1-6-1 dimension a and b 0.7 m (2") and 0.9 m (3") and to have pumper nozzle.

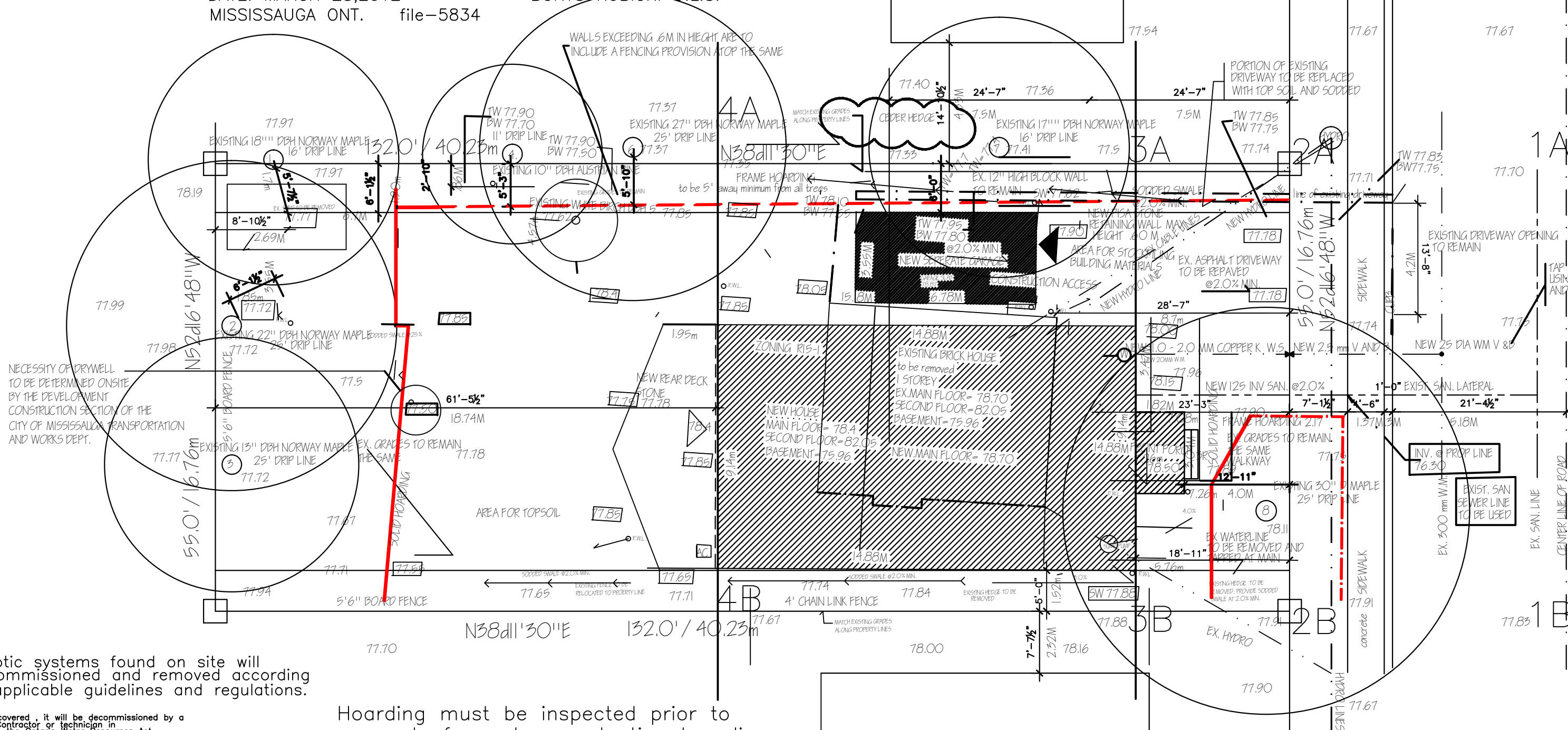
Watermains to be installed to grades as shown on approved site plan. Copy of Grade sheet must be supplied to inspector prior to commencement of work, where requested by inspector.

Watermains must have a minimum clearance of 0.3m (12") over /0.5m (20") under sewers and all other utilities when crossing. All proposed water piping must be isolated from existing lines in order to allow independent pressure testing and chlorinating from existing systems. all live tapping and operation of region water valves shall be arranged through the regional inspector assigned or by contracting the operations and maintenance division

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A BUILDING LOCATED AT 43 MISSISSAUGA RD S, AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL TO EXISTING ADJACENT PROPERTIES AND MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED GRADES AS SHOWN WILL PRODUCE ADEQUATE DRAINAGE AND PROPER FACILITY OF MUNICIPAL SERVICES WITHOUT DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES

DATE: MARCH 28, 2012
MISSISSAUGA ONT. file-5834

BORYS KUBICKI Q.L.S.



Any septic systems found on site will be decommissioned and removed according to all applicable guidelines and regulations.

If a well is discovered, it will be decommissioned by a licensed well contractor or technician in accordance with the Ontario Well Drilling and Construction Act (Ontario Regulation 617/05) and any other applicable regulations and guidelines.

Prior to any construction taking place, hoarding must be erected in accordance with the Ontario Occupational Health and Safety Act and regulations for construction projects must be erected and maintained throughout all phases of construction.

The applicant will be responsible for the cost of any utility relocation necessitated by the site plan. At the entrance to the site, the municipal curb and sidewalk shall be constructed for driveway and a curb extension will be provided for street entrance. The applicant will be required to contact all utility companies to relocate any utilities within the Municipal right of way.

I hereby certify that this drawing conforms in all respects to the site information and data upon which it is based and that I am a duly registered Professional Engineer in the Province of Ontario under the Professional Engineers Act, R.S.O. 1990, c. 19, as amended.

The City of Mississauga requires that all working drawings submitted to the Building Department for the issuance of a Building Permit shall be certified by the Professional Engineer or Architect in accordance with the City of Mississauga. All exterior lighting will be directed onto the site and will not shine upon the adjacent properties.

Grades will be met within 33% maximum slope at the property lines and within the site. All surface drainage will be self contained, collected and discharged to the street or approved watercourse. The portions of the driveway within the lot and the portions of the driveway within the lot and the portions of the driveway within the lot will be paved by the applicant.

The Owner is responsible for ensuring that the site information and data upon which this drawing is based is accurate and that the information is current and complete. The Owner shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The Owner shall be responsible for ensuring that the site information and data upon which this drawing is based is accurate and that the information is current and complete. The Owner shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

All existing grades are to remain under the surface of the existing trees.

Grades will be met within a 33% maximum slope of the property lines and within the site.

Hoarding must be inspected prior to removal of any tree protection hoarding from the site.

All damaged areas are to be reinstated with topsoil and seed prior to the release of securities. All excess excavated material will be removed from the site. The existing drainage pattern will be maintained.

The existing grades shown on this drawing are to remain unchanged, except as noted.

NOTE: RE STOCKPILING OF MATERIALS
1. Excess soil to be stored in area indicated.
2. Backfill material to be stored in area indicated.
3. Temporary storage of lumber on gravel of proposed driveway.
4. after backfilling and rough grading gravel of proposed driveway storage area masonry materials to be stored there.

The structural design of any retaining wall over .60 m (2'0") in height or any retaining wall located on a property line, is to be shown on the site grading plan for this project, and is to be approved by the Consulting Engineer for the project.

SEWERS
Depth of sanitary sewer connection at the street line to be confirmed in field prior to construction to ensure gravity flow

SUMP PUMP
FOUNDATION WEEPERS AND FLOOR DRAINS WILL BE SUMPED AND PUMPED TO THE SURFACE AND WILL DISCHARGE ONTO A CONCRETE SPLASH PAD IN THE FRONT OF THE HOUSE.

RAIN WATER
ALL DOWNSPOUTS SHALL DISCHARGE ONTO SPLASH PADS AT GROUND AT THE LOCATIONS INDICATED ON THIS PLAN. PROPOSED SWALES TO HAVE MAXIMUM 1:3 SIDE SLOPES UNDERGROUND SERVICES. The Location of underground services shown on this plan, is only approximate and is for planning and design purposes only. This information must not be assumed to be complete or up-to-date and on-site locate must be ordered prior to any excavation. Tarek McMillan Kubicki limited accepts no responsibility for any claims or losses due to losses due to improper use of this information.

erosion and sediment control fence. Solid board hoarding as per BUILDING ENTRANCE

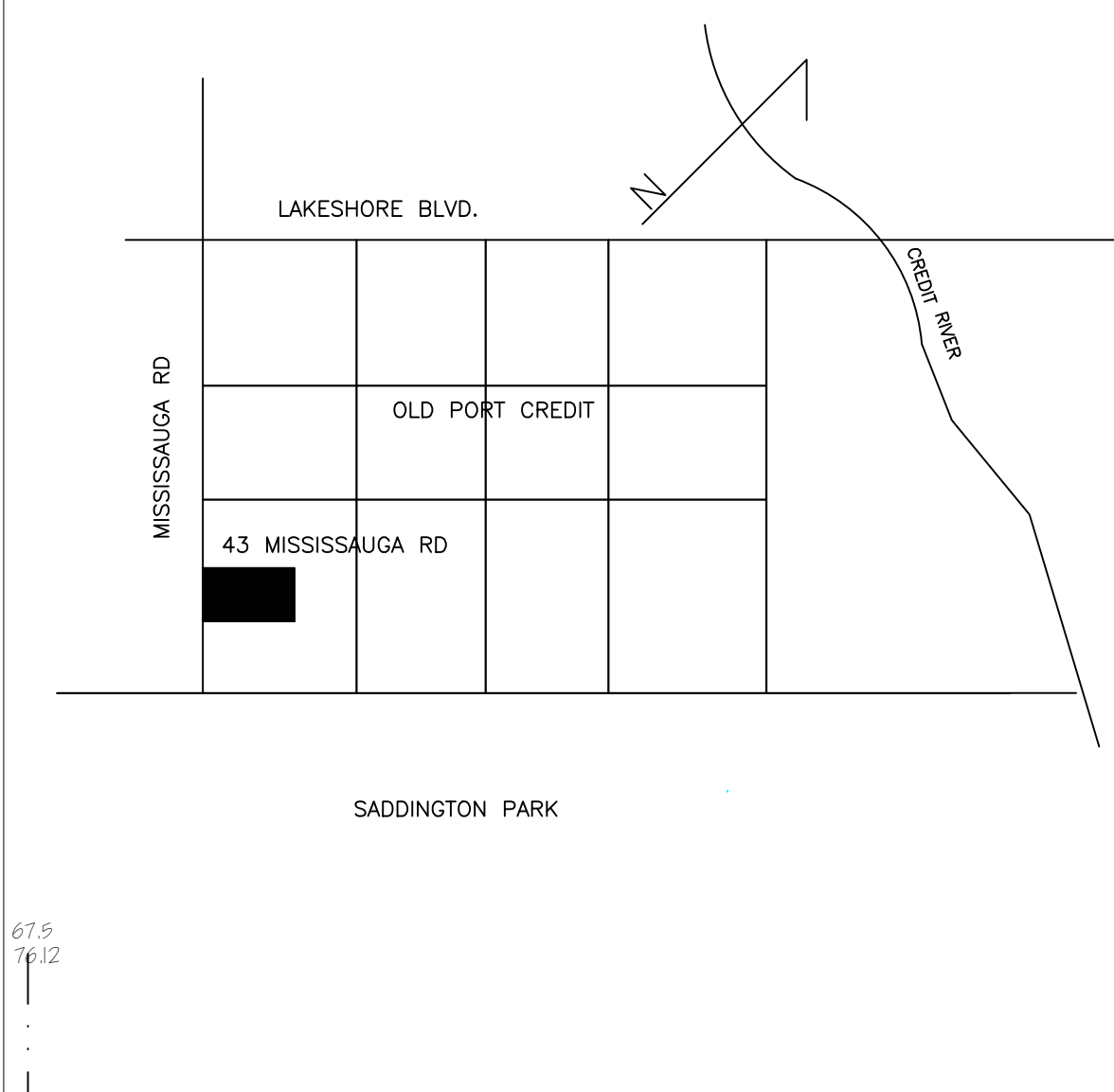
VEHICULAR ENTRANCE	AVERAGE GRADE CALC
+99.0' EXISTING GRADES	1A=77.70 1B=77.83
100.0' NEW GRADES	2A=77.74 2B=77.91
	3A=77.5 3B=77.88
	4A=77.35 4B=77.67
	SUM OF GRADES=621.58
	AVG GRADE=77.69

Site Statistics
Zoning = R15-1

Lot area = 7260.0FT.SQ./673.8 M. SQ.
Lot Specifications

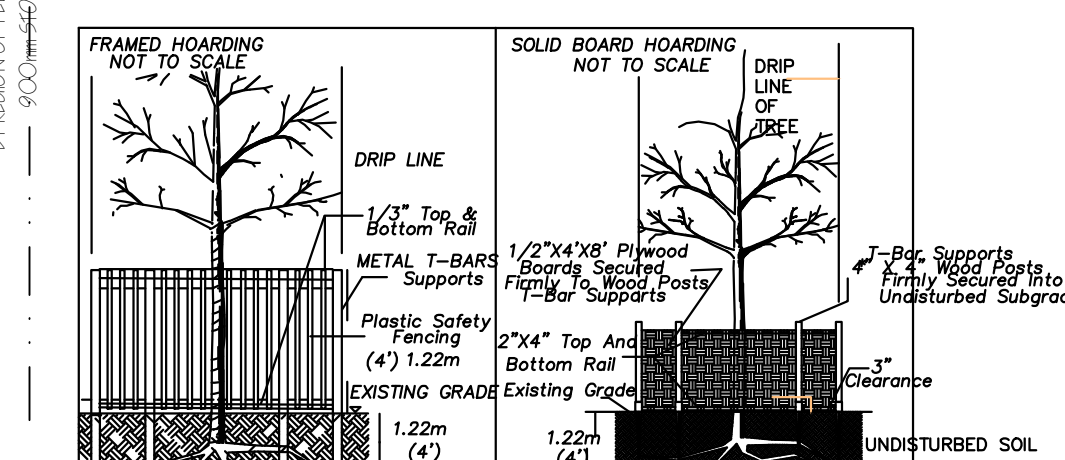
NEW MAIN FLOOR = 1494.9 sq.ft./138.88m.sq.
NEW SECOND FLOOR = 1494.9 sq.ft./138.88m.sq.
EX. PORCH = 60.0 sq.ft./5.57m.sq.
NEW PORCH = 405.8 sq.ft./37.7m.sq.
NEW DECK = 405.8 sq.ft./37.7m.sq.
NEW GARAGE = 256.0 sq.ft./23.78m.sq.
NEW G.F.A. = 3250.0 sq.ft./301.93.sq.
G.F.A. PERMITTED = 3277.050. FT./303.76M.SQ.
G.F.A. infill residential = 2989.85Q. FT./277.76M.SQ.

NEW DRIVEWAY AREA = 1230.0 sq.ft./114.27m.sq.
NEW LANDSCAPE = 3874.1 sq.ft./359.91m.sq.
FRONT LANDSCAPE/DRIVEWAY = 1792.0sq.ft./166.48sq.ft.
Lot width at 7.5m = 55.0'/16.76m
Lot width at STREETLINE = 55.0'/16.76m
Building height from main floor = 25.83'/7.87m
eaves height from main floor = 18.89'/5.76
AVERAGE GRADE = 77.69
building height at established grade = 29.52'/9.0m
Eaves height at established grade = 22.17'/6.8m



Elevations are referred to Canadian geodetic datum 1928 and were derived from city of mississauga benchmark no 731 having a published elevation of 82.580 m

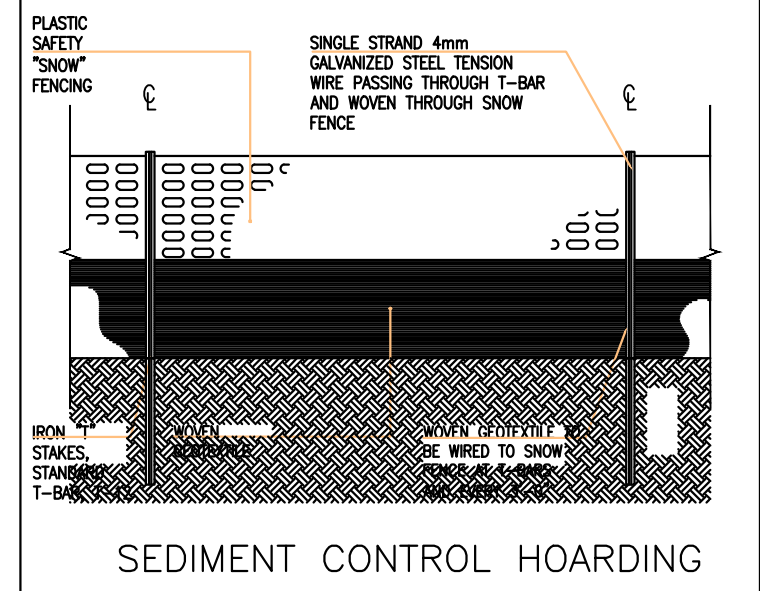
PLAN OF PART LOTS 9 AND 10 NORTH SIDE MISSISSAUGA RD. REGISTERED PLAN 300 CITY OF MISSISSAUGA COUNTY OF PEEL
(TAKEN FROM SURVEY BY CHRISTOPHER PEAT JULY 25 1967) REGISTERED PLAN 300



NOTE:
1. HOARDING DETAILS TO BE DETERMINED FOLLOWING INITIAL SITE INSPECTION.
2. HOARDING MUST BE INSTALLED AND MAINTAINED BY THE APPLICANT THROUGHOUT ALL PHASES OF CONSTRUCTION UNLESS OTHERWISE SPECIFIED BY THE ENGINEER OR ARCHITECT AND DESIGN.
3. DO NOT ALLOW WATER TO COLLECT AND POOL BEHIND OR WITHIN HOARDING.
4. T-BAR SUPPORTS FOR SOLID HOARDING WILL ONLY BE ALLOWED WITH THE APPROVAL FROM DEVELOPMENT AND DESIGN.

EROSION AND SEDIMENT CONTROL NOTE (ESC):

- (A) EROSION AND SEDIMENT CONTROL METHODS ARE TO BE CONTINUOUSLY EVALUATED AND UPGRADES ARE TO BE IMPLEMENTED, WHEN NECESSARY.
- (B) ESC BEST MANAGEMENT PRACTICES ARE TO BE APPLIED.
- (C) EROSION SEDIMENT CONTROL FENCE SHOULD BE KEPT UNTIL VEGETATION IS STABILIZED.
- (D) AN AFTER HOURS CONTACT NUMBER IS TO BE VISIBLY POSTED ON-SITE FOR EMERGENCIES.
- (E) ESC FENCING TO BE APPLIED TO ALL HOARDING FENCING AND REAR CHAIN LINK FENCE AS PER CITY OF MISSISSAUGA STANDARDS.



General Notes

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. QUALIFICATION INFORMATION IS REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1 OF THE BUILDING CODE.

JOHN PINKNEY
1340 CONTOUR DR.
MISSISSAUGA, ONT.
L5H 1B2

43 MISSISSAUGA ST. SOUTH
PART LOTS 9 AND 10
NORTH SIDE OF MISSISSAUGA RD.
REGISTERED PLAN 300
CITY OF MISSISSAUGA

SITE PLAN FILE # SP11-089

DATE: 04/24/12	
DATE: 07/19/11	
No.	Revision/Issue
	Date

Firm Name and Address
JOHN PINKNEY
1340 CONTOUR DR.
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905-483-2545
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Project Name and Address
MUHAMMAD SIDDIQI
43 MISSISSAUGA RD.
MISSISSAUGA, ON.
416 702 8214

Project: SITE PLAN	Sheet
Date: 06/08/11	AI
Scale: 1/50	