

WATERMANS AND WATER SERVICE
 All materials and construction methods must correspond to the current Peel public works standards and specifications.

watermain and/or water service materials 100 mm. (4") and larger must be p.v.c. class 150 to owa spec c900-75 and copper type "x" for 50 dia and smaller
 watermains and/or water services are to have a minimum cover of 1.7m (5'6") with a minimum horizontal spacing of 1.2 m (4') from themselves and all other utilities.

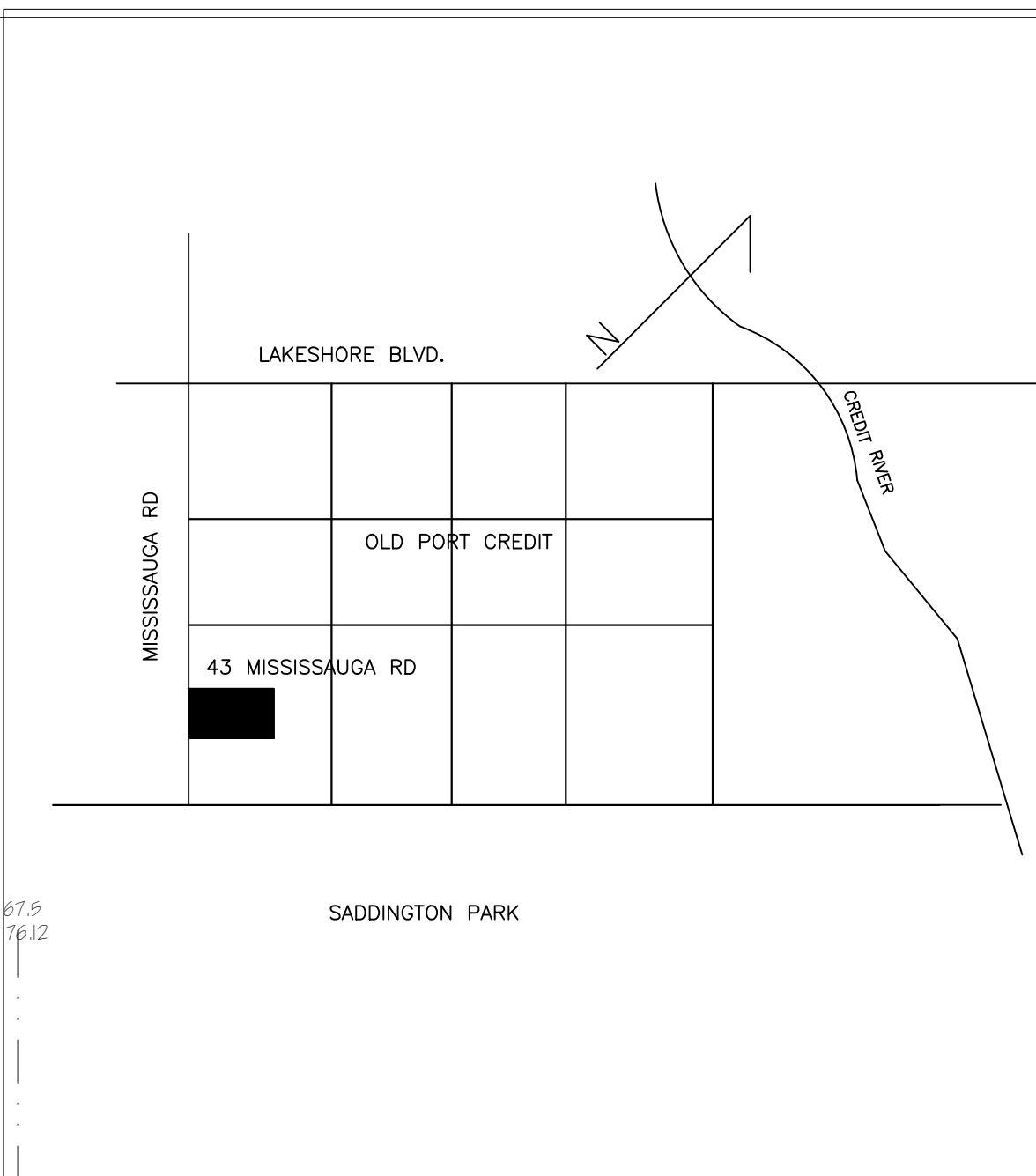
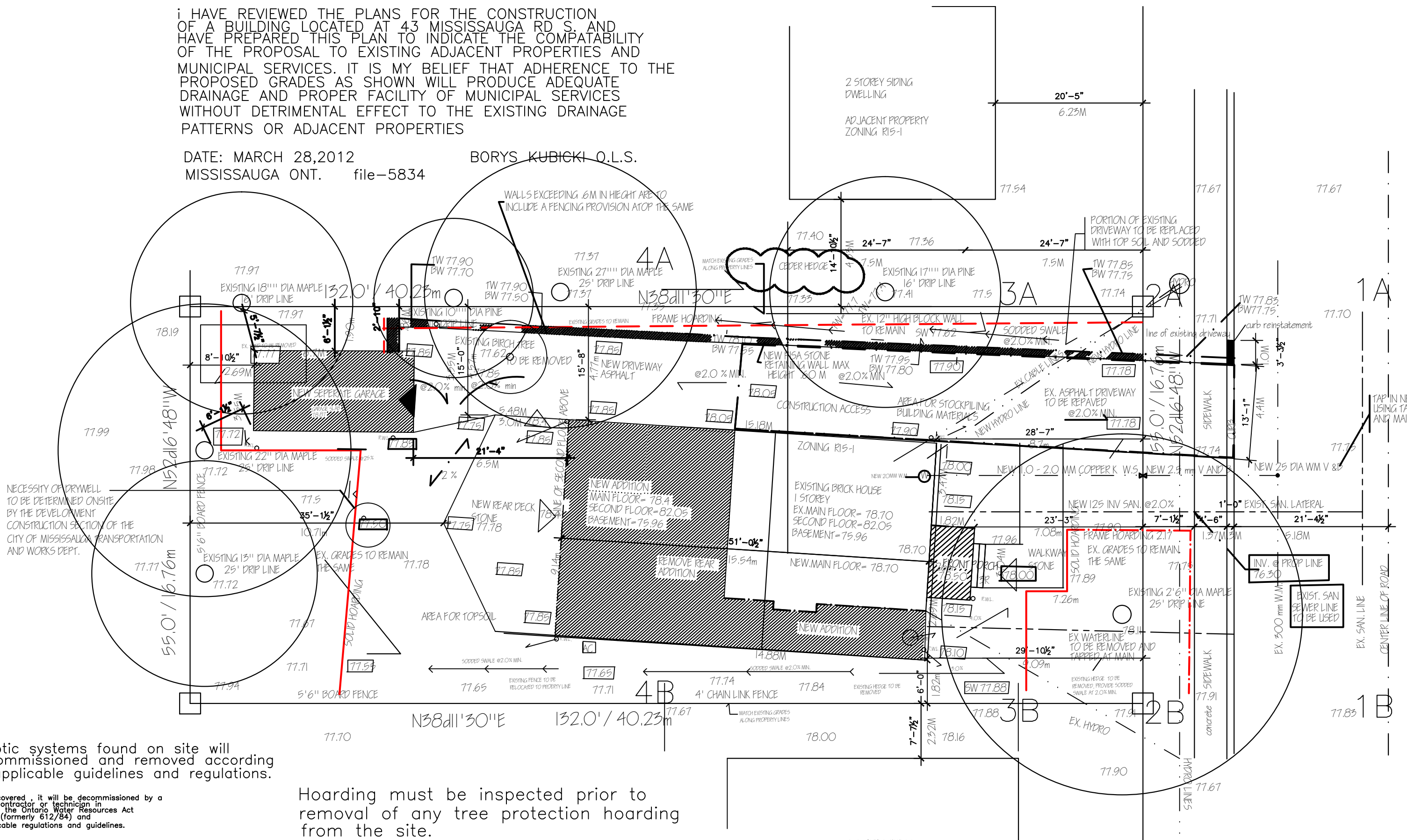
provisions for flushing waterline prior to testing, etc. must be provided with at least a 50 mm (2") outlet on a 100mm (4") and larger lines are to have flushing points at the end. the same size as the line. They must also be hosed or piped to allow the water to drain onto a parking lot or down a drain, on fire lines.
 All proposed water piping must be isolated from existing lines in order to allow independent pressure testing and chlorinating from existing systems.
 flushing outlet to be 100 mm (4") diameter minimum on a hydrant.
 all curb stops to be 3.0 mm (10") off the face of the building unless otherwise noted
 hydrant and valve set to region standard 1-6-1 dimension a and b 0.7 m (2') and 0.9 m (3') and to have pumper nozzle.

Watermains to be installed to grades as shown on approved site plan. Copy of Grade sheet must be supplied to inspector prior to commencement of work, where requested by inspector.
 Watermains must have a minimum clearance of 0.3m (12") over /0.5m (20") under sewers and all other utilities when crossing.
 All proposed water piping must be isolated from existing lines in order to allow independent pressure testing and chlorinating from existing systems.
 all live tapping and operation of region water valves shall be arranged through the regional inspector assigned or by contracting the operations and maintenance division

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A BUILDING LOCATED AT 43 MISSISSAUGA RD S. AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL TO EXISTING ADJACENT PROPERTIES AND MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED GRADES AS SHOWN WILL PRODUCE ADEQUATE DRAINAGE AND PROPER FACILITY OF MUNICIPAL SERVICES WITHOUT DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES

DATE: MARCH 28, 2012
 MISSISSAUGA ONT. file-5834

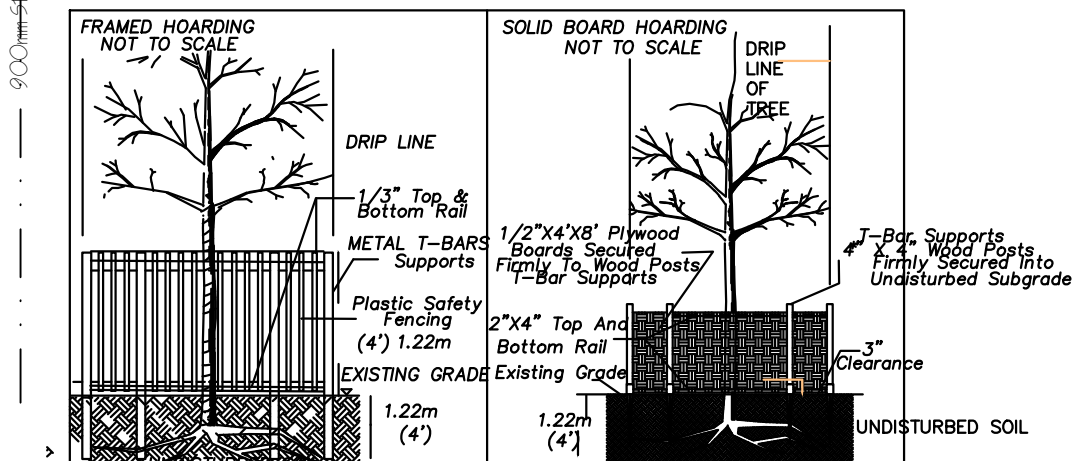
BORYS KUBICKI O.L.S.



Elevations are referred to Canadian geodetic datum 1928 and were derived from city of mississauga benchmark no 731 having a published elevation of 82.580 m

PLAN OF PART LOTS 9 AND 10 NORTH SIDE MISSISSAUGA RD. REGISTERED PLAN 300 CITY OF MISSISSAUGA COUNTY OF PEEL

(TAKEN FROM SURVEY BY CHRISTOPHER PEAT JULY 25 1967) REGISTERED PLAN 300



NOTES:
 1. HOARDING DETAILS TO BE DETERMINED FOLLOWING INITIAL SITE INSPECTION.
 2. HOARDING TO BE APPROVED BY DEVELOPMENT AND DESIGN.
 3. HOARDING SHALL BE SUPPLIED, INSTALLED AND MAINTAINED BY THE APPLICANT THROUGHOUT ALL PHASES OF CONSTRUCTION UNLESS APPROVAL IS OBTAINED FROM DEVELOPMENT AND DESIGN.
 4. DO NOT ALLOW WATER TO COLLECT AND PENETRATE WITHIN HOARDING.
 * T-BAR SUPPORTS FOR SOLID HOARDING WILL ONLY BE ALLOWED WITH THE APPROVAL FROM DEVELOPMENT AND DESIGN

Site Statistics
 Zoning = R15-1

Lot area = 7260.0FT.SQ./673.8 M. SQ.
 Lot Specifications
 NEW MAIN FLOOR = 1494.9 sq.ft./138.88m.sq.
 NEW SECOND FLOOR = 1494.9 sq.ft./138.88m.sq.
 EX. PORCH = 60.0 sq.ft./5.57m.sq.
 NEW PORCH = 405.8 sq.ft./37.7m.sq.
 NEW DECK = 405.8 sq.ft./37.7m.sq.
 NEW GARAGE = 256.0 sq.ft./23.78m.sq.
 NEW G.F.A. = 3250.0 sq.ft./301.93.sq.
 G.F.A. PERMITTED = 3277.05Q. FT./303.76M.SQ.
 G.F.A. infill residential = 2989.85Q. FT./277.76M.SQ.
 NEW DRIVEWAY AREA = 1230.0 sq.ft./114.27m.sq.
 NEW LANDSCAPE = 3874.1 sq.ft./359.91m.sq.
 FRONT LANDSCAPE/DRIVEWAY = 1792.0sq.ft./166.48sq.ft.
 Lot width at 7.5m = 55.0'/16.76m
 Lot width at STREETLINE = 55.0'/16.76m
 Building height from main floor = 25.83'/7.87m
 eaves height from main floor = 18.89'/5.76
 AVERAGE GRADE = 77.69
 building height at established grade = 29.52'/9.0m
 Eaves height at established grade = 22.17'/6.8m

erosion and sediment control fence Solid board hoarding as per

VEHICULAR ENTRANCE	AVERAGE GRADE CALCS
+99.0' EXISTING GRADES	1A=77.70 1B=77.83
100.0' NEW GRADES	2A=77.74 2B=77.91
	3A=77.5 3B=77.88
	4A=77.35 4B=77.67
	SUM OF GRADES=621.58
	AVG GRADE=77.69

- NOTE: RE STOCKPILING OF MATERIALS
1. Excess soil to be hauled away
 2. Backfill material to be stored in area indicated.
 3. temporary storage of lumber on gravel of proposed driveway
 4. after backfilling and rough grading gravel of proposed driveway storage area masonry materials to be stored there.

The structural design of any retaining wall over 600 mm (24") in height or any retaining wall located on a property line, is to be shown on the Site Grading Plan for this project, and is to be approved by the Consulting Engineer for the project.

SEWERS
 Depth of sanitary sewer connection at the street line to be confirmed in field prior to construction to ensure gravity flow
 SUMP PUMP
 FOUNDATION WEEPERS AND FLOOR DRAINS WILL BE SUMPED AND PUMPED TO THE SURFACE AND WILL DISCHARGE ONTO A CONCRETE SPLASH PAD IN THE FRONT OF THE HOUSE.

RAIN WATER
 ALL DOWNSPOUTS SHALL DISCHARGE ONTO SPLASH PADS AT GROUND AT THE LOCATIONS INDICATED ON THIS PLAN
PROPOSED SWALES TO HAVE MAXIMUM 1:3 SIDE SLOPES
UNDERGROUND SERVICES
 The location of underground services shown on this plan, is only approximate and is for planning and design purposes only. This information must not be assumed to be complete or up-to-date and on-site locate must be ordered prior to any excavation. Torasick McMillan Kubicki limited accepts no responsibility for any claims or losses due to losses due to improper use of this information.

Any septic systems found on site will be decommissioned and removed according to all applicable guidelines and regulations.

If a well is discovered, it will be decommissioned by a licensed well contractor in accordance with the Ontario Well Drilling and Completion Act, Regulation 603 (formerly 612/84) and any other applicable regulations and guidelines.

Prior to any construction taking place, hoarding protection system, consisting of safety hoarding in accordance with the Ontario Occupational Health and Safety Act and regulation construction projects must be erected and then maintained throughout all phases of construction.

The applicant will be responsible for the cost of any utility relocations necessitated by the site plan. Any utility relocation shall be in accordance with the Municipal Act and a written agreement shall be entered into between the applicant and the utility company to obtain all required permits prior to the installation of hoarding within the Municipal right of way.

I hereby certify that this drawing conforms in all respects to the site development plans approved by the City of Mississauga under file number 5811108.

Architects or Engineers Signature

The City of Mississauga requires that all working drawings submitted to the Building Department, Planning and Building Department as part of an application for the issuance of a Building Permit shall be certified by the architect or engineer as being in conformity with the site development plan as approved by the City of Mississauga.

All exterior lighting will be directed onto the site and will not intrude upon the adjacent properties
 Grades will be met within 33% maximum slope at the property lines and within the site.
 All surface drainage will be self contained and shall be approved by the City of Mississauga.

The purpose of the driveway shall be approved by the City of Mississauga.

The Owner is responsible for ensuring that the tree protection program is maintained throughout all phases of construction and that the tree protection program is in accordance with the City of Mississauga's Tree Protection By-Law. No material shall be stored or stockpiled in the area of the tree protection program.

Owner's Signature
 All existing grades are to remain under the skyline of the existing trees.
 Grades will be met within a 33% maximum slope at the property lines and within the site.

General Notes

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. QUALIFICATION INFORMATION IS REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1 OF THE BUILDING CODE.
 NAME: JOHN PINKNEY SIGNATURE: [Signature] S.C.I.N.#: [Number]
 REGISTRATION INFORMATION IS REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1 OF THE BUILDING CODE.
 NAME: PINKNEY SIGNATURE: [Signature] S.C.I.N.#: [Number]

JOHN PINKNEY
 1340 CONTOUR DR.
 MISSISSAUGA, ONT.
 L5H 1B2

43 MISSISSAUGA ST. SOUTH
 PART LOTS 9 AND 10
 NORTH SIDE OF MISSISSAUGA RD.
 REGISTERED PLAN 300
 CITY OF MISSISSAUGA

SITE PLAN FILE # SP11-089

No.	Revision/Issue	Date
	DATE: 03/26/12	
	DATE: 07/19/11	

Firm Name and Address
 JOHN PINKNEY
 1340 CONTOUR DR.
 MISSISSAUGA, ON.
 L5H 1B2
 905-483-2545
 FAX 905 822 4442

Project Name and Address
 MUHAMMAD SIDDIQI
 43 MISSISSAUGA RD.
 MISSISSAUGA, ON.
 416 702 8214

Project: SITE PLAN	Sheet: AI
Date: 06/08/11	
Scale: 1/50	